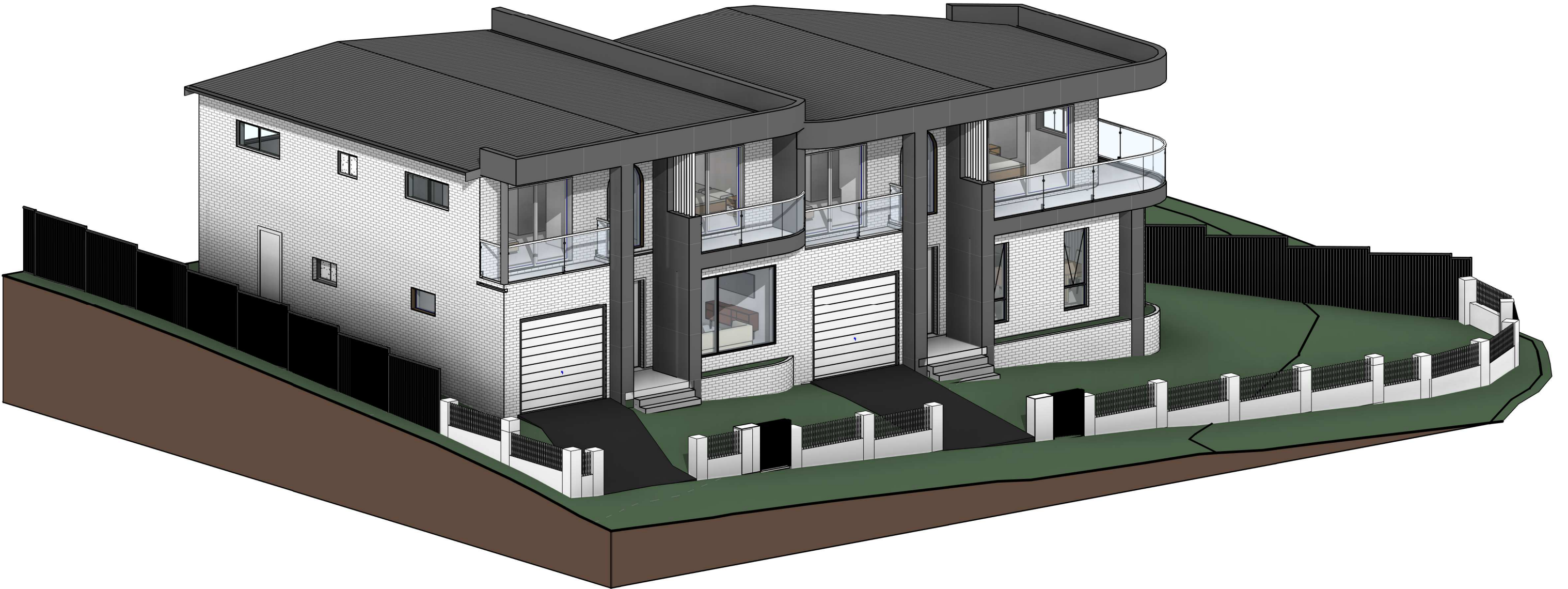




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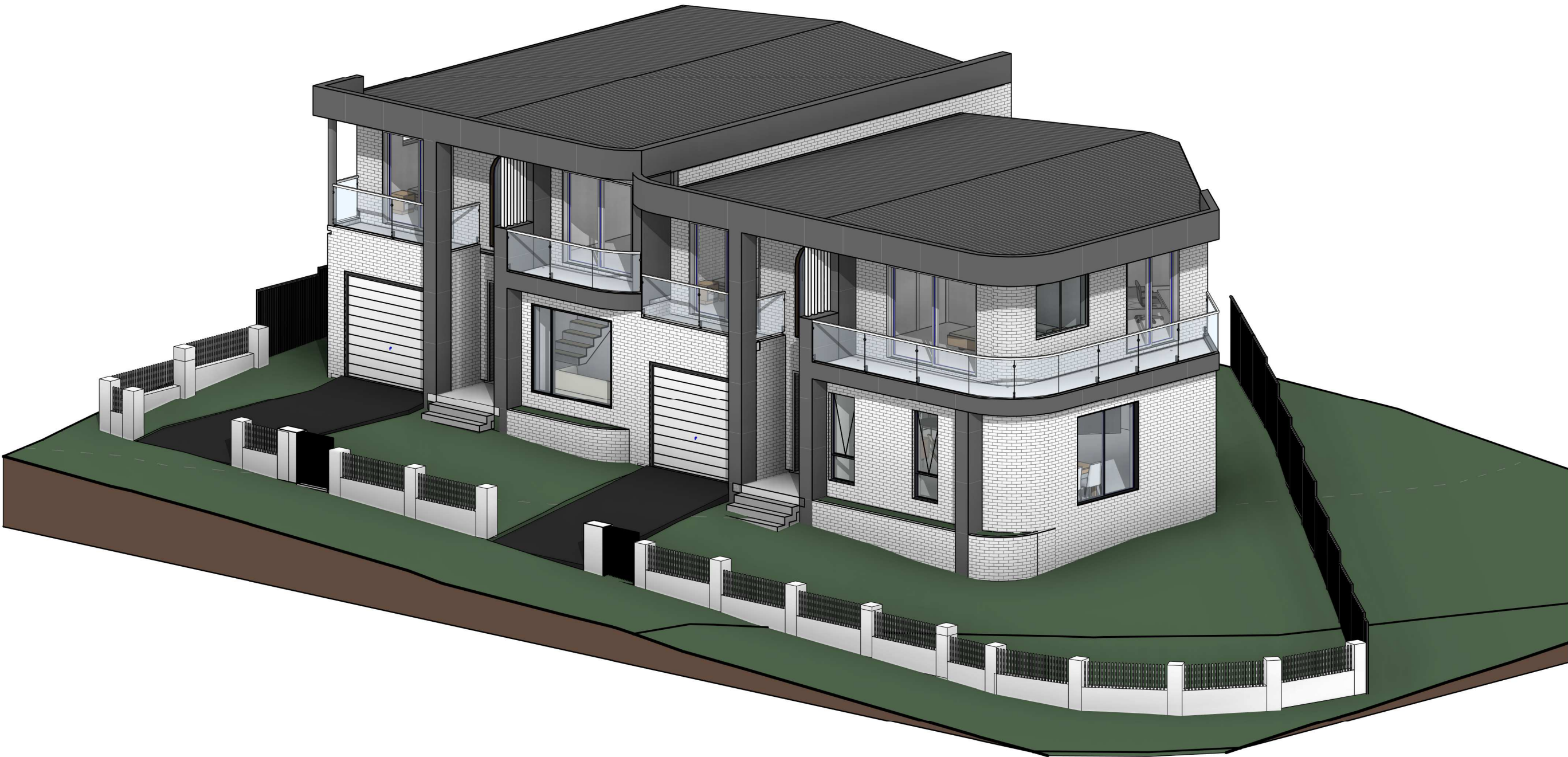
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ESTATE
LGA CANTERBURY - BANKSTOWN

PROJECT DOUBLE STOREY DUPLEX	
Development Application (DA)	
LOT 1049 DP 31413 BROCKMAN AVENUE	CLIENT NAME TAREK & RIBAL NOIN

DATE: 31/10/2024	TITLE: ISOMETRIC		
DRAWN BY: DT			
CHECKED BY: TD	TRUE NORTH	DRAWING No.	SHEET
SCALE:		A 0.2	1

1	FOR DA APPROVAL	31.10.2024
REV	Description	DATE



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BANKSTOWN**

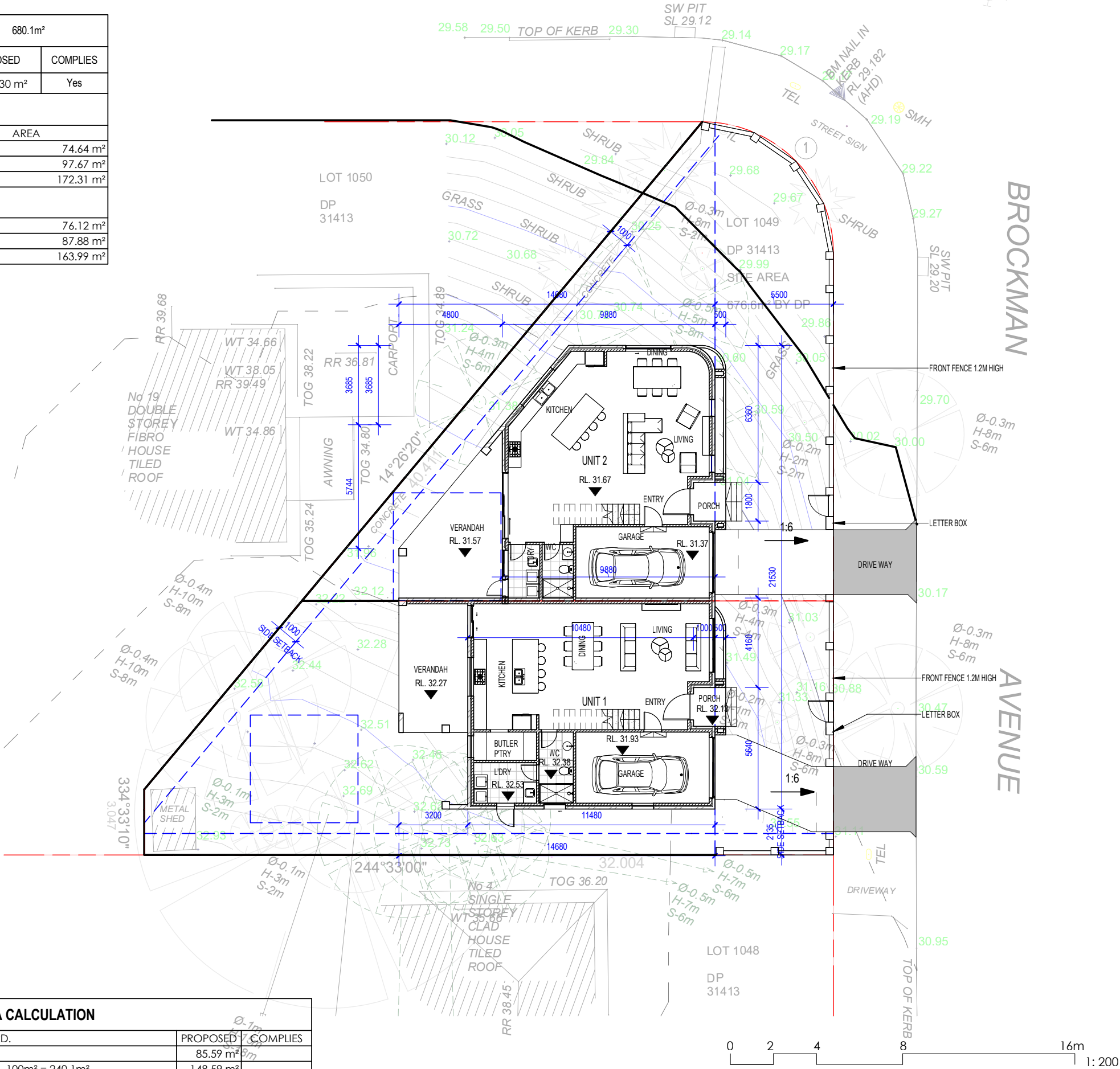
PROJECT
DOUBLE STOREY DUPLEX

Development Application (DA)
LOT 1049 DP 31413
BROCKMAN AVENUE
CLIENT NAME
TAREK & RIBAL NOIN

DATE: 31/10/2024	TITLE: ISOMETRIC		
DRAWN BY: DT			
CHECKED BY: TD	TRUE NORTH	DRAWING No.	SHEET
SCALE:		A 0.3	1

1	FOR DA APPROVAL	31.10.2024
REV	Description	DATE

SITE AREA		680.1m²	
STANDARD		PROPOSED	COMPLIES
FSR	0.5:1 (340m²)	336.30 m²	Yes
PROPOSED FLOOR AREA			
	LEVEL	AREA	
UNIT 1	GFL-U1	74.64 m²	
UNIT 1	FFL-U1	97.67 m²	
TOTAL AREA OF UNIT 1			172.31 m²
UNIT 2	GFL-U2	76.12 m²	
UNIT 2	FFL-U2	87.88 m²	
TOTAL AREA OF UNIT 2			163.99 m²



① PROPOSED SITE PLAN
1 : 200

LANDSCAPED AREA CALCULATION		
	STANDARD.	PROPOSED / COMPLIES
		85.59 m²
LANDSCAPED AREA	50% OF SITE AREA - 100m² = 50% x 680.1m² - 100m² = 240.1m²	148.59 m²
TOTAL AREA OF UNIT 1		172.31 m²
TOTAL AREA OF UNIT 2		163.99 m²

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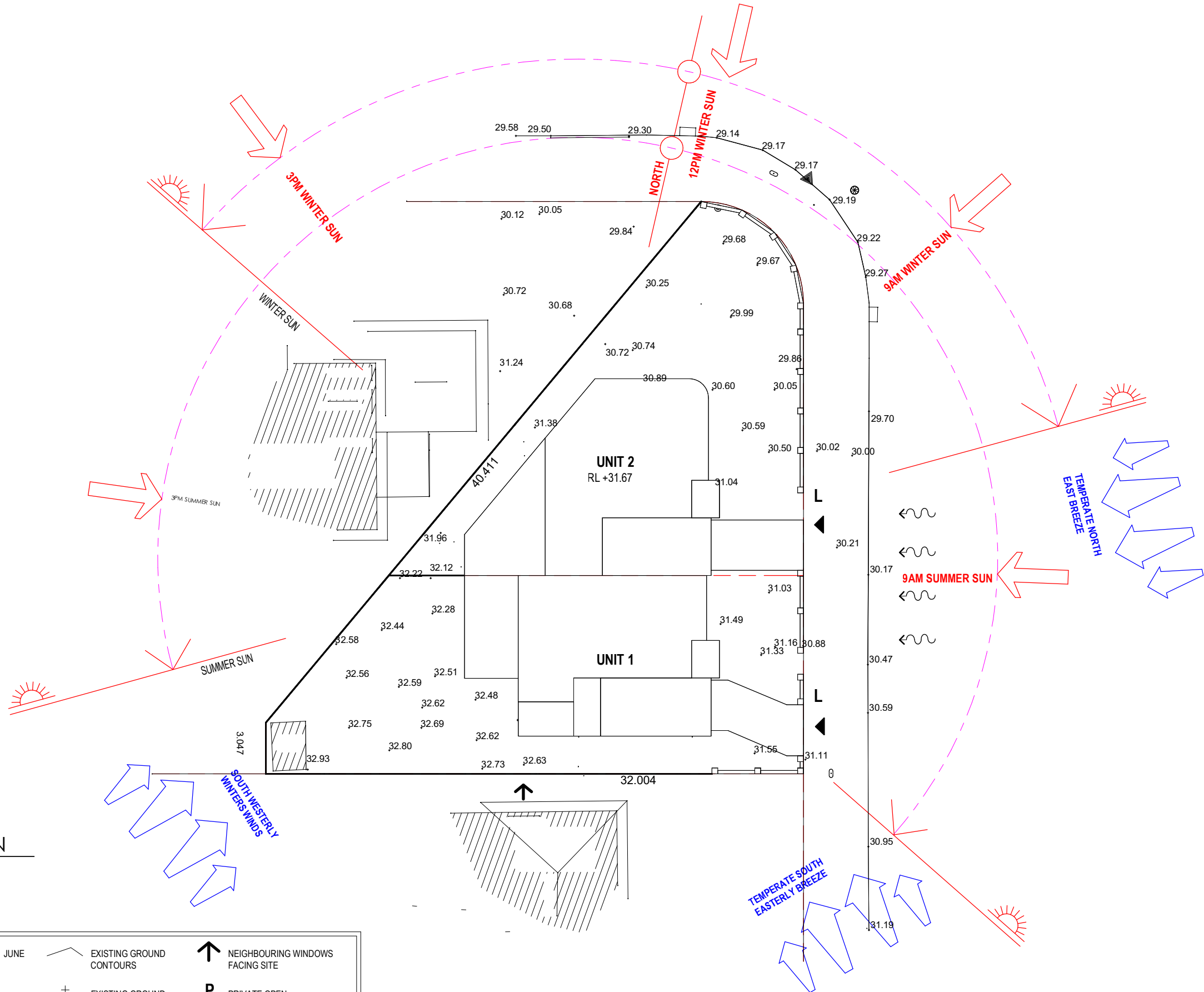
LGA
CANTERBURY - BANKSTOWN

PROJECT
DOUBLE STOREY DUPLEX

Development Application (DA)
LOT 1049 DP 31413 BROCKMAN AVENUE
CLIENT NAME
TAREK & RIBAL NOIN

DATE:
31/10/2024
DRAWN BY:
LN
CHECKED BY:
TD
SCALE: 1 : 200
TITLE:
PROPOSED SITE PLAN
TRUE NORTH
DRAWING No.
A 1.01
SHEET
1
ISSUE

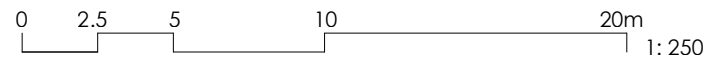
1	FOR DA APPROVAL	31.10.2024
REV	Description	DATE



1 SITE ANALYSIS PLAN
1 : 250

SITE ANALYSIS LEGEND:

	VEHICULAR ENTRY		SUN DIRECTION - 21 JUNE		EXISTING GROUND CONTOURS		NEIGHBOURING WINDOWS FACING SITE
	PREVAILING SUMMER WINDS		EXISTING TREE TO BE REMAIN		EXISTING GROUND LEVEL		PRIVATE OPEN SPACE
	PREVAILING WINTER WINDS		EXISTING TREE TO BE REMOVED		NOISE SOURCE		LETTER BOX



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PROJECT
DOUBLE STOREY DUPLEX

Development Application (DA)
LOT 1049 DP 31413 BROCKMAN AVENUE
CLIENT NAME
TAREK & RIBAL NOIN

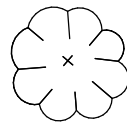
DATE:
31/10/2024
DRAWN BY:
LN
CHECKED BY:
TD
SCALE:
As Indicated

TITLE:
SITE ANALYSIS PLAN

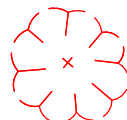
TRUE NORTH

DRAWING No.
A 1.02
SHEET
1
ISSUE

1	FOR DA APPROVAL	31.10.2024
REV	Description	DATE



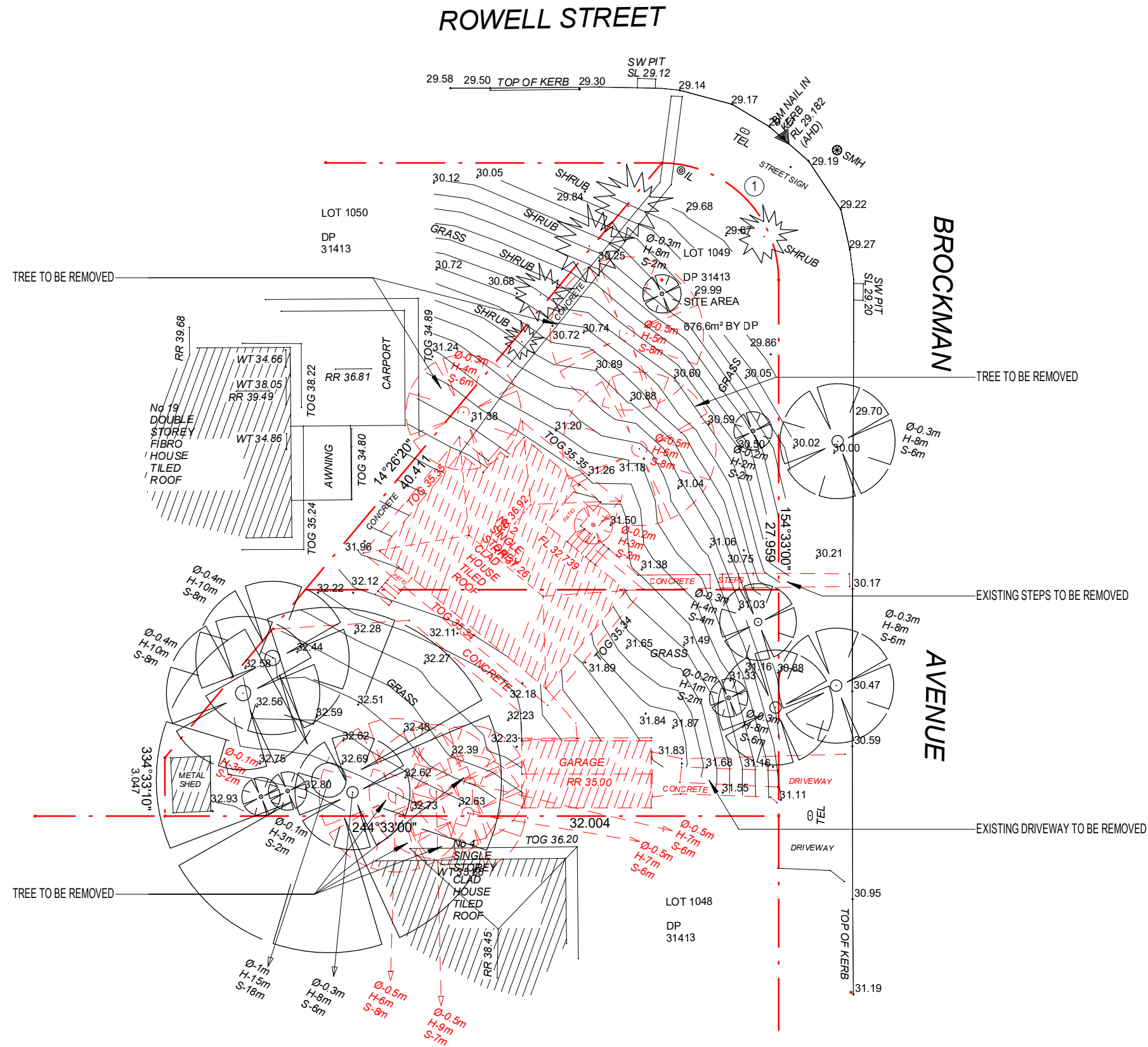
EXIST TREES TO BE RETAINED



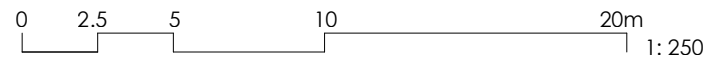
EXIST TREES TO BE REMOVED



EXIST WALL TO BE REMOVED
SHOWN DOTTED LINE



DEMOLITION PLAN
1 : 250



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PROJECT
DOUBLE STOREY DUPLEX
Development Application (DA)
LOT 1049 DP 31413
BROCKMAN AVENUE
CLIENT NAME
TAREK & RIBAL NOIN

DATE:
31/10/2024
DRAWN BY:
LN
CHECKED BY:
TD
SCALE: 1 : 250

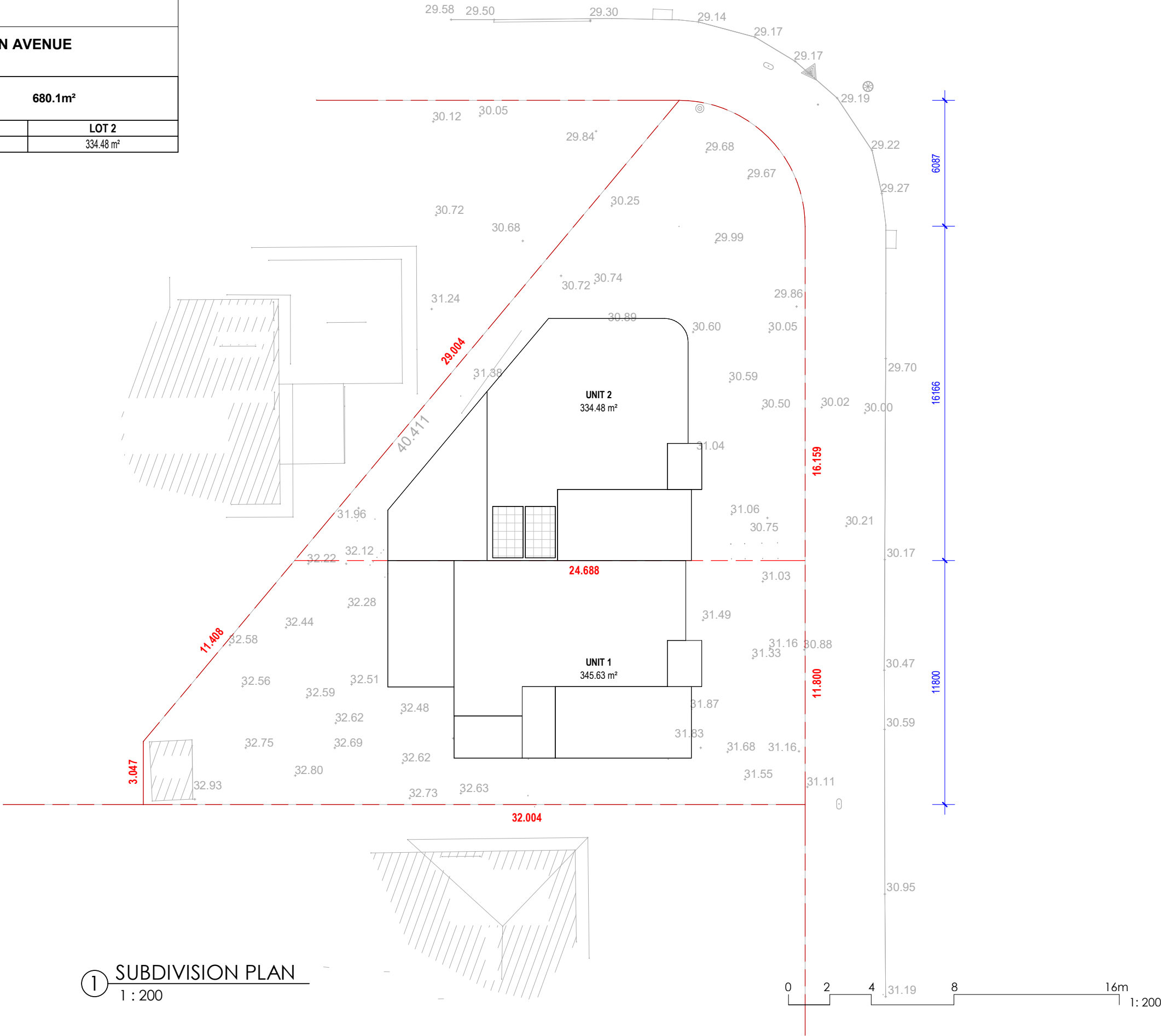
TITLE:
DEMOLITION PLAN & STREETSCAPE
TRUE NORTH
DRAWING No.
A 1.03
SHEET
1
ISSUE

REV	Description	DATE
1	FOR DA APPROVAL	31.10.2024

Approver

LOT 1049/ DP 31413, BROCKMAN AVENUE

SITE AREA		680.1m²	
	LOT 1	LOT 2	
	345.63 m²	334.48 m²	



1 SUBDIVISION PLAN
1 : 200

ISSUE FOR DA APPROVAL

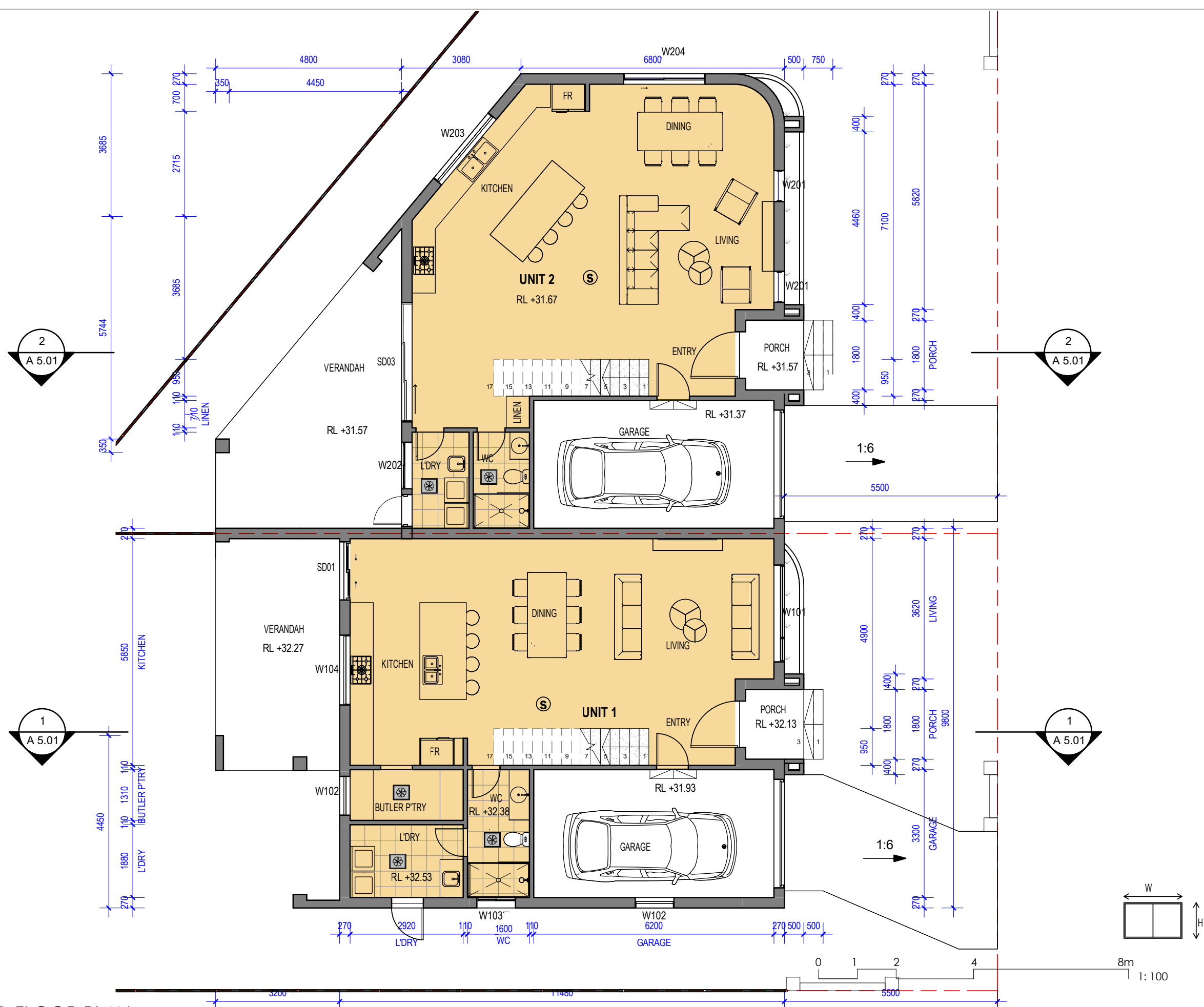
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LGA CANTERBURY - BANKSTOWN

PROJECT DOUBLE STOREY DUPLEX	
Development Application (DA)	
LOT 1049 DP 31413 BROCKMAN AVENUE	CLIENT NAME TAREK & RIBAL NOIN

DATE: 31/10/2024	TITLE: SUBDIVISION PLAN			
DRAWN BY: LN				
CHECKED BY: TD	TRUE NORTH	DRAWING No. A 1.04	SHEET	ISSUE 1
SCALE: 1 : 200				

1	FOR DA APPROVAL	31.10.2024
REV	Description	DATE



- Basix Requirements**
- a. R1.5 to all cavity brick external walls
 - b. R4.0 insulation to plasterboard ceiling
 - c. R1.3 foil blanket and sisalation underneath metal roof
 - f. Downlights which penetrate the ceiling to be fitted with approved fireproof, non-ventilated covers allowing uninterrupted ceiling insulation
 - g. 6 star instantaneous gas hot water system
 - h. 1000 litres rainwater tank to be connected to the landscaping and toilets & laundry, 100m² of the roof area to be provided from down pipes
 - j. Weather stripping to all external windows and doors
 - k. 4.0 star to all toilet flushing systems
 - l. 4.0 star to all kitchen and bathroom taps
 - m. Gas cooktop and electric oven
 - n. Install a fixed outdoor clothes drying line
 - o. All window shall be: Aluminium standard single-glazed: Clear glass: U=6.70: SHGC=0.7
 - p. All windows shall be: Aluminium standard single-glazed: clear glass: U=6.70: SHGC=0.57

SCHEDULE- WINDOW/ DOOR			
Name	HEIGHT	WIDTH	NO.OFF
W101	2100	2500	1
W102	600	1000	2
W103	600	1000	1
W104	500	1800	1
W111	700	1800	2
W112	600	800	2
W201	2100	800	2
W202	900	1200	2
W203	500	2200	1
W204	2100	2100	1
W211	2200	1200	2
W212	1100	1800	4
W213	2200	1200	1
W214	1300	1800	1

SD01	2200	2200	3
SD02	2200	2800	1
SD03	2400	3000	1
SD04	2200	1800	1

- NOTE:
- EXHAUSTED FAN
 - SKY LIGHT
 - SD DENOTES SMOKE DETECTOR

ALL WINDOWS & DOORS SCHEDULE DIMENSIONS ARE TO BE CHECKED AND VERIFIED ON-SITE BY THE BUILDER PRIOR TO THE COMMENCEMENT OF WORKS INCLUDING ANY MANUFACTURING, ORDERING, INSTALLATION AND THE LIKE.

ISSUE FOR DA APPROVAL

1 GROUND FLOOR PLAN
1 : 100

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PROJECT
DOUBLE STOREY DUPLEX

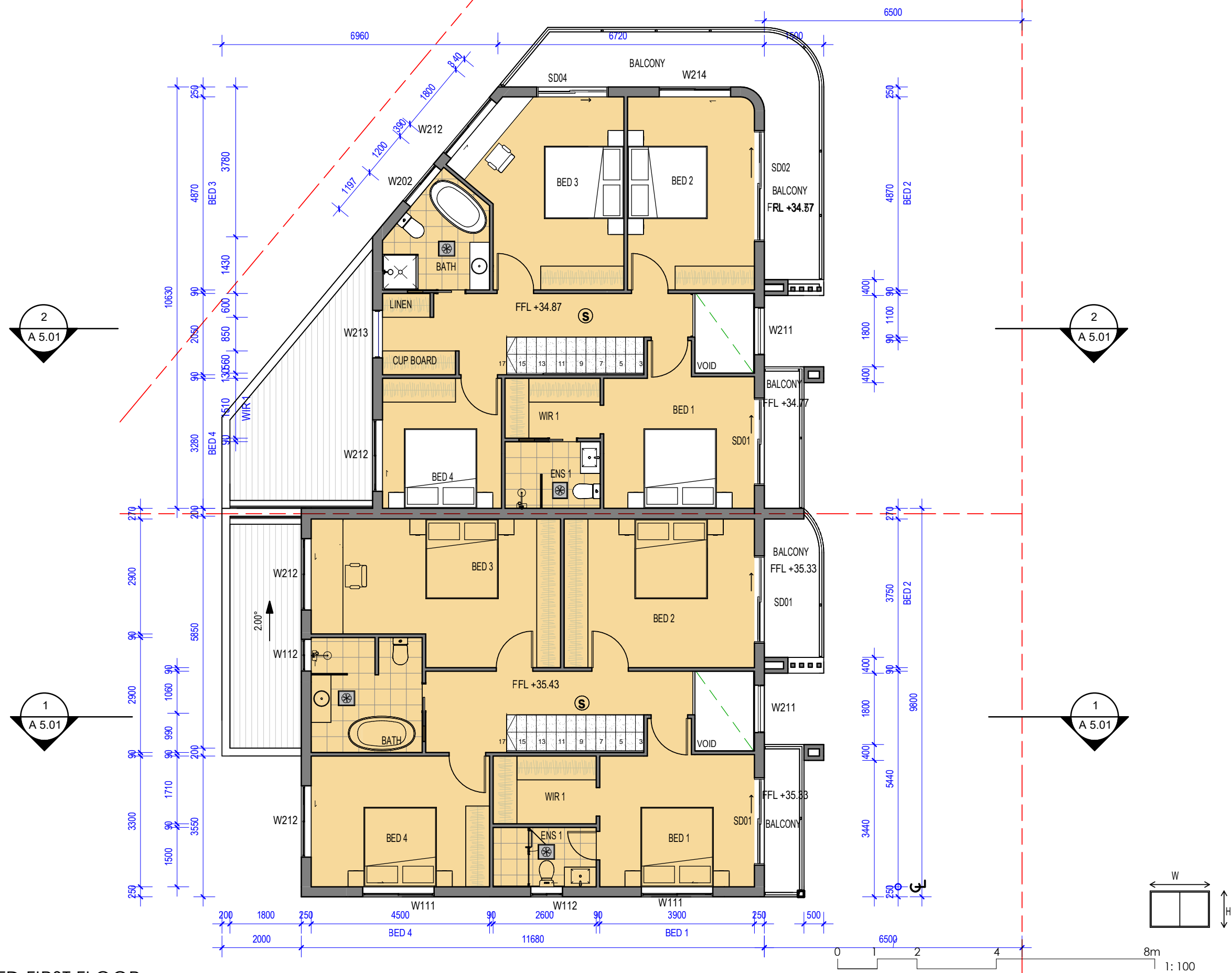
Development Application (DA)
LOT 1049 DP 31413 BROCKMAN AVENUE
CLIENT NAME
TAREK & RIBAL NOIN

DATE:
31/10/2024
DRAWN BY:
LN
CHECKED BY:
TD
SCALE: 1 : 100

TITLE:
PROPOSED GROUND FLOOR PLAN

TRUE NORTH
DRAWING No.
A 2.01
SHEET
1
ISSUE

1	FOR DA APPROVAL	31.10.2024
REV	Description	DATE



- Basix Requirements**
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 - b. R4.0 insulation to plasterboard ceiling
 - c. R1.3 foil blanket and sisalation underneath metal roof
 - f. Downlights which penetrate the ceiling to be fitted with approved fireproof, non-ventilated covers allowing uninterrupted ceiling insulation
 - g. 6 star instantaneous gas hot water system
 - h. 1000 litres rainwater tank to be connected to the landscaping and toilets & laundry, 100m² of the roof area to be provided from down pipes
 - j. Weather stripping to all external windows and doors
 - k. 4.0 star to all toilet flushing systems
 - l. 4.0 star to all kitchen and bathroom taps
 - m. Gas cooktop and electric oven
 - n. Install a fixed outdoor clothes drying line
 - o. All window shall be: Aluminium standard single-glazed: Clear glass: U=6.70: SHGC=0.7
 - p. All windows shall be: Aluminium standard single-glazed: clear glass: U=6.70: SHGC=0.57

SCHEDULE- WINDOW/ DOOR			
Name	HEIGHT	WIDTH	NO.OFF
W101	2100	2500	1
W102	600	1000	2
W103	600	1000	1
W104	500	1800	1
W111	700	1800	2
W112	600	800	2
W201	2100	800	2
W202	900	1200	2
W203	500	2200	1
W204	2100	2100	1
W211	2200	1200	2
W212	1100	1800	4
W213	2200	1200	1
W214	1300	1800	1

SD01	2200	2200	3
SD02	2200	2800	1
SD03	2400	3000	1
SD04	2200	1800	1

- NOTE:
- EXHAUSTED FAN
 - SKY LIGHT
 - DENOTES SMOKE DETECTOR

ALL WINDOWS & DOORS SCHEDULE DIMENSIONS ARE TO BE CHECKED AND VERIFIED ON-SITE BY THE BUILDER PRIOR TO THE COMMENCEMENT OF WORKS INCLUDING ANY MANUFACTURING, ORDERING, INSTALLATION AND THE LIKE.

ISSUE FOR DA APPROVAL

1 PROPOSED FIRST FLOOR
1:100

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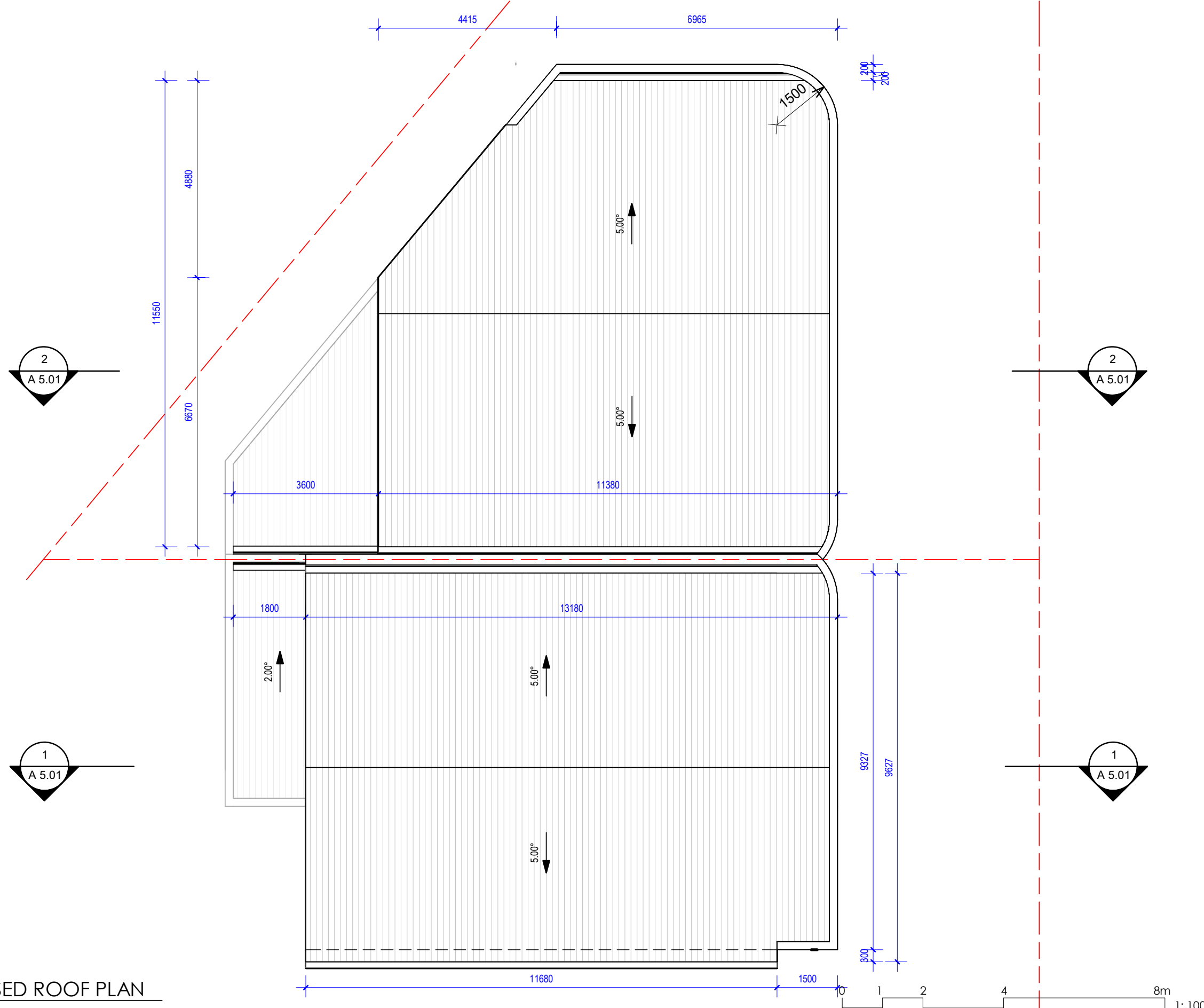
PROJECT
DOUBLE STOREY DUPLEX

Development Application (DA)
LOT 1049 DP 31413 BROCKMAN AVENUE
CLIENT NAME
TAREK & RIBAL NOIN

DATE:
31/10/2024
DRAWN BY:
LN
CHECKED BY:
TD
SCALE: 1:100

TITLE:
PROPOSED FIRST FLOOR
TRUE NORTH
DRAWING No.
A 2.02
SHEET
1
ISSUE

1	FOR DA APPROVAL	31.10.2024
REV	Description	DATE



1 PROPOSED ROOF PLAN
1 : 100

- Basix Requirements**
- a. R1.5 to all cavity brick external walls
 - b. R4.0 insulation to plasterboard ceiling
 - c. R1.3 foil blanket and sisalation underneath metal roof
 - f. Downlights which penetrate the ceiling to be fitted with approved fireproof, non-ventilated covers allowing uninterrupted ceiling insulation
 - g. 6 star instantaneous gas hot water system
 - h. 1000 litres rainwater tank to be connected to the landscaping and toilets & laundry, 100m² of the roof area to be provided from down pipes
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ESTATE

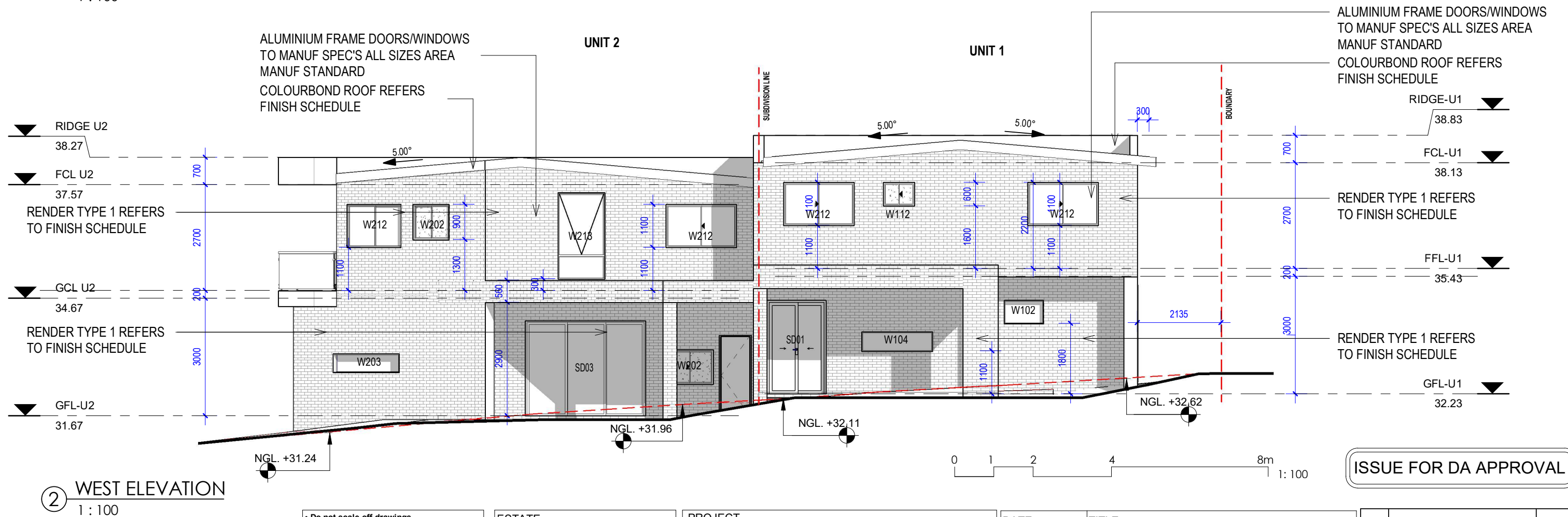
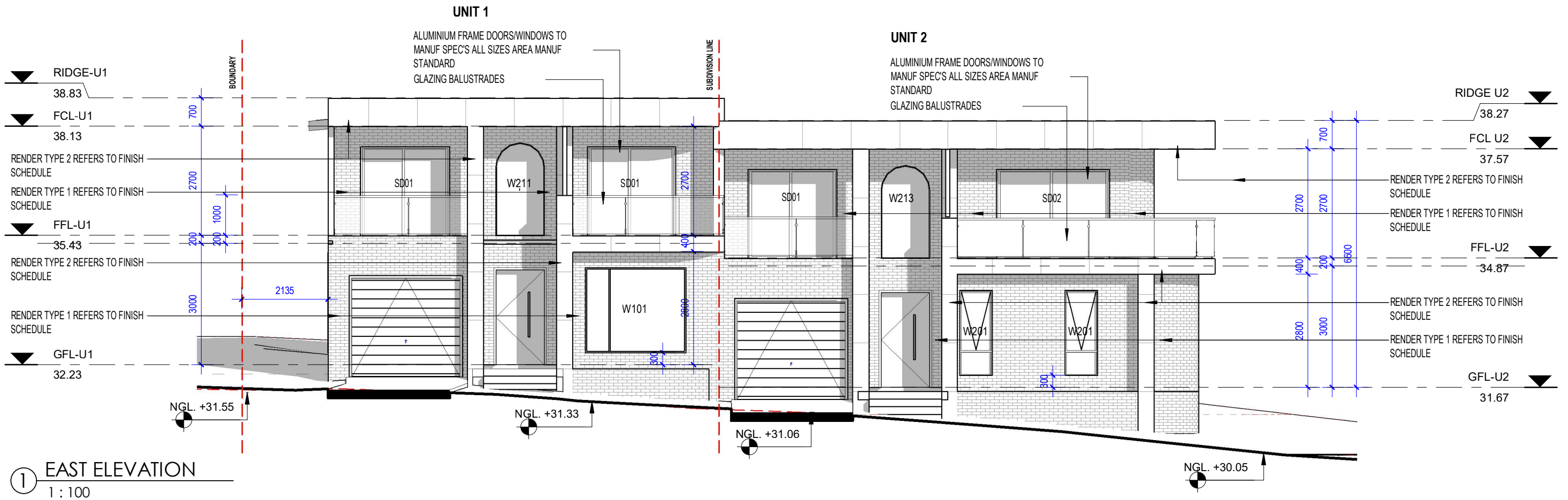
LGA
CANTERBURY - BANKSTOWN

PROJECT
DOUBLE STOREY DUPLEX

Development Application (DA)
LOT 1049 DP 31413 BROCKMAN AVENUE CLIENT NAME
TAREK & RIBAL NOIN

DATE: 31/10/2024
DRAWN BY: LN
CHECKED BY: TD
SCALE: 1 : 100
TITLE: **PROPOSED ROOF PLAN**
TRUE NORTH
DRAWING No. **A 2.03**
SHEET
ISSUE **1**

1	FOR DA APPROVAL	31.10.2024
REV	Description	DATE



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CANTERBURY - BANKSTOWN

PROJECT

DOUBLE STOREY DUPLEX

Development Application (DA)

LOT 1049 DP 31413 BROCKMAN AVENUE

CLIENT NAME

TAREK & RIBAL NOIN

DATE:

31/10/2024

DRAWN BY:

LN

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SCALE: 1 : 100

TITLE:

PROPOSED ELEVATIONS

TRUE NORTH

DRAWING No.

SHEET

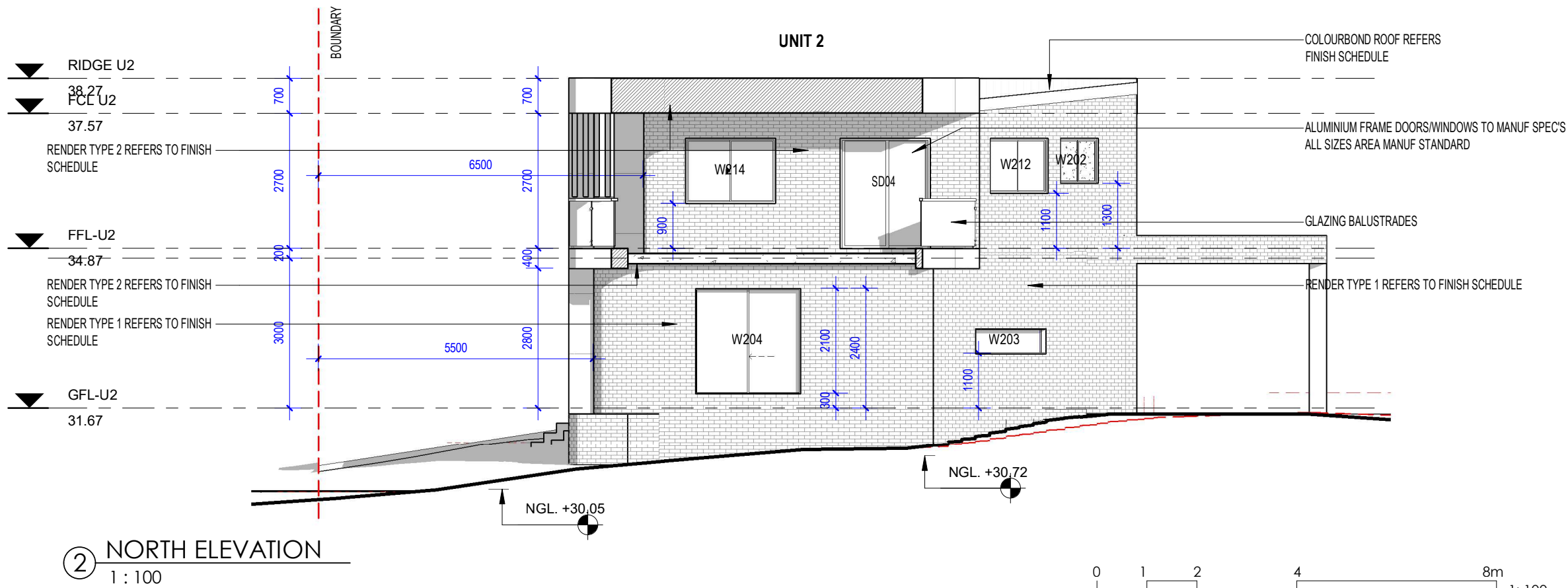
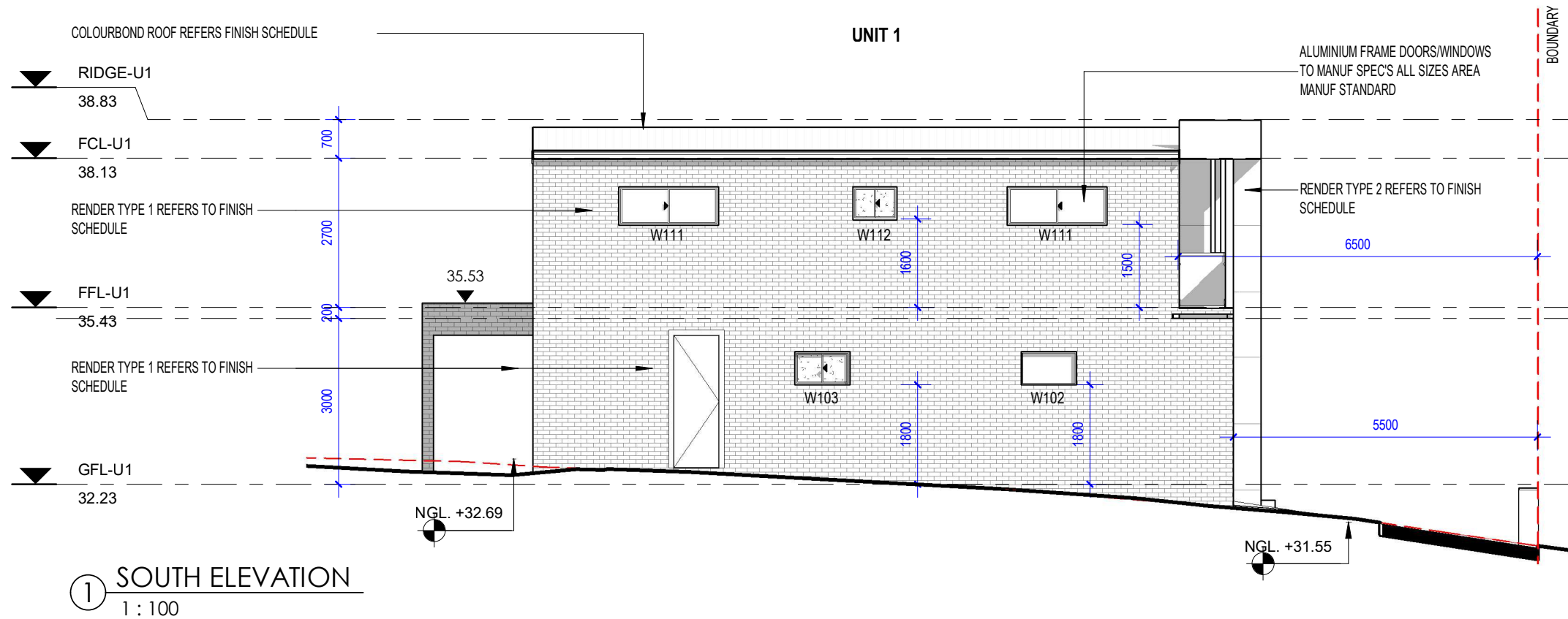
ISSUE

A 4.01

1

REV	Description	DATE
1	FOR DA APPROVAL	31.10.2024

ISSUE FOR DA APPROVAL



- Basix Requirements**
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0 1 2 4 8m 1: 100

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CANTERBURY - BANKSTOWN

PROJECT

DOUBLE STOREY DUPLEX

Development Application (DA)

LOT 1049 DP 31413 BROCKMAN AVENUE

CLIENT NAME

TAREK & RIBAL NOIN

DATE: 31/10/2024

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CHECKED BY: TD

SCALE: 1 : 100

TITLE: PROPOSED ELEVATIONS

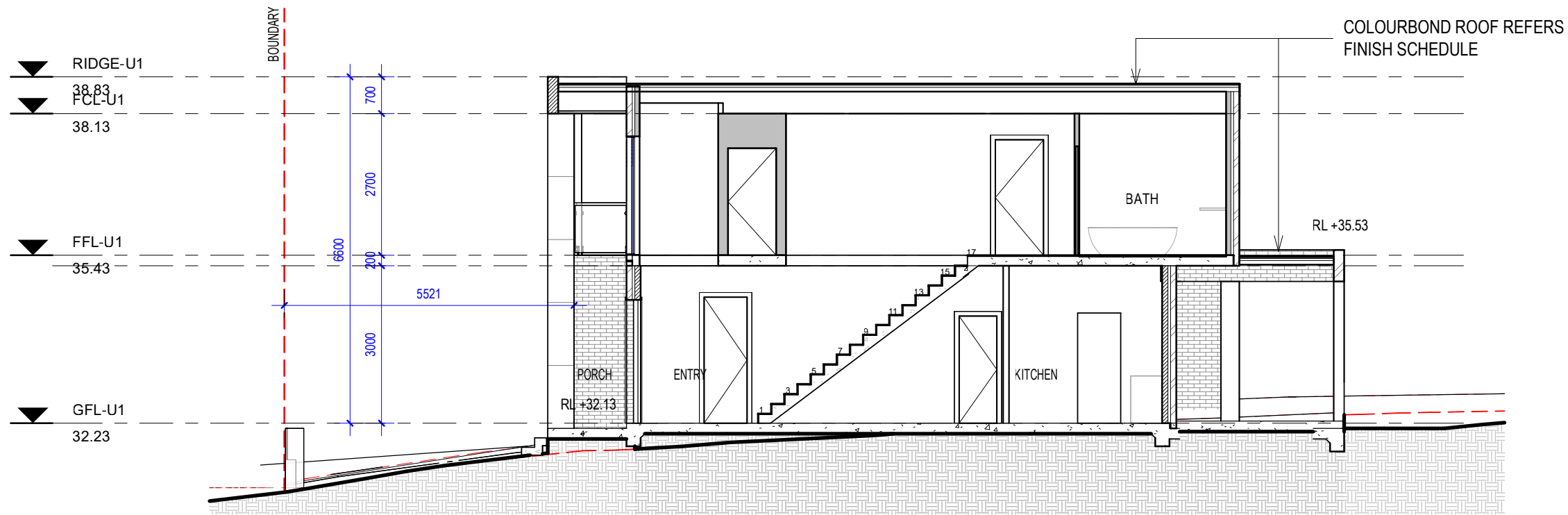
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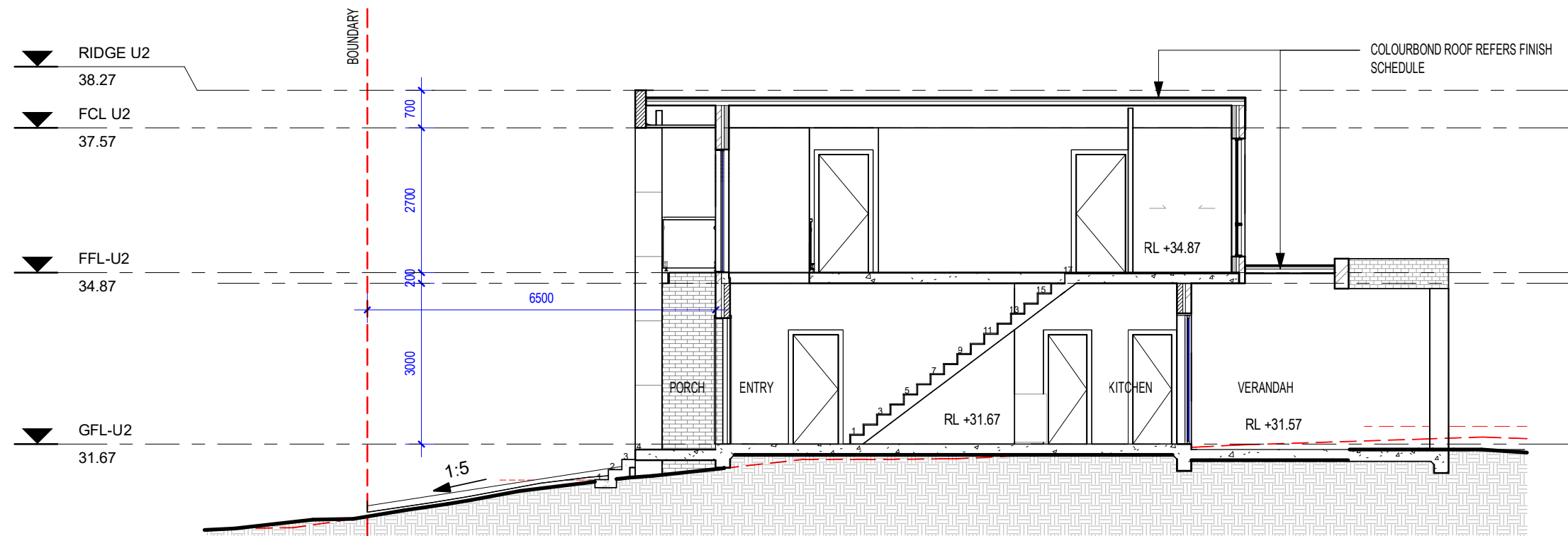
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ISSUE 1

REV	Description	DATE
1	FOR DA APPROVAL	31.10.2024



① PROPOSED SECTION 1-1
1 : 100



② PROPOSED SECTION 2-2
1 : 100

0 1 2 4 8m
1 : 100

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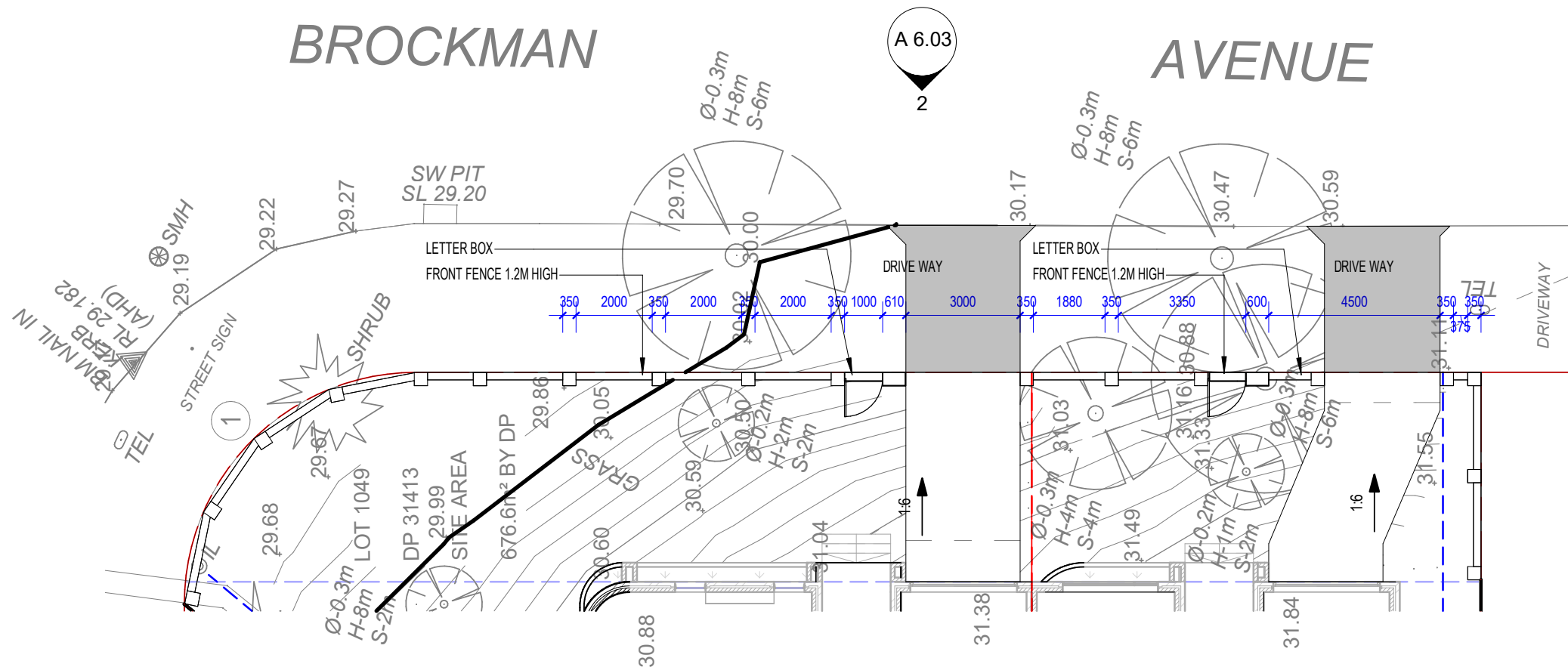
LGA
CANTERBURY - BANKSTOWN

PROJECT
DOUBLE STOREY DUPLEX

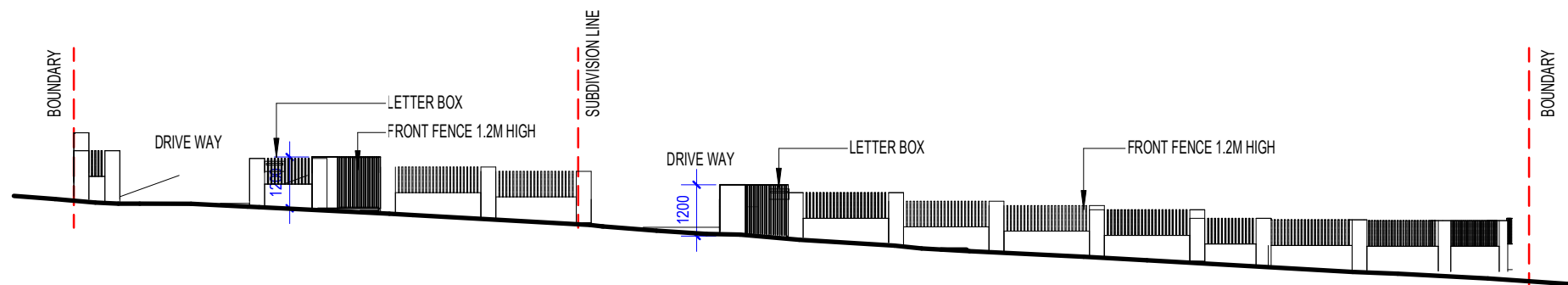
Development Application (DA)
LOT 1049 DP 31413 BROCKMAN AVENUE
CLIENT NAME
TAREK & RIBAL NOIN

DATE:
31/10/2024
DRAWN BY:
LN
CHECKED BY:
TD
SCALE: 1 : 100
TITLE:
PROPOSED SECTIONS
TRUE NORTH
DRAWING No.
A 5.01
SHEET
1
ISSUE

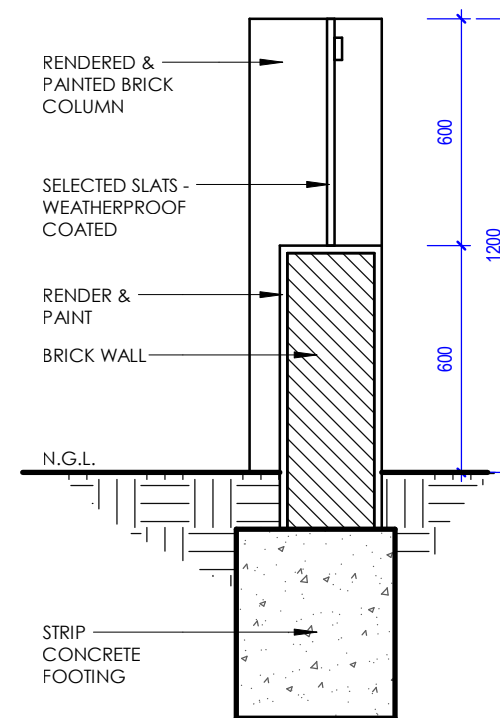
REV	Description	DATE
1	FOR DA APPROVAL	31.10.2024



1 FENCE PLAN
1 : 150



2 FENCE ELEVATION
1 : 150



FENCE SECTION DETAIL
(REFER TO ENGINEER FOR FINAL DETAILS)
SCALE: 1:20

0 1.5 3 6 12m
1: 150

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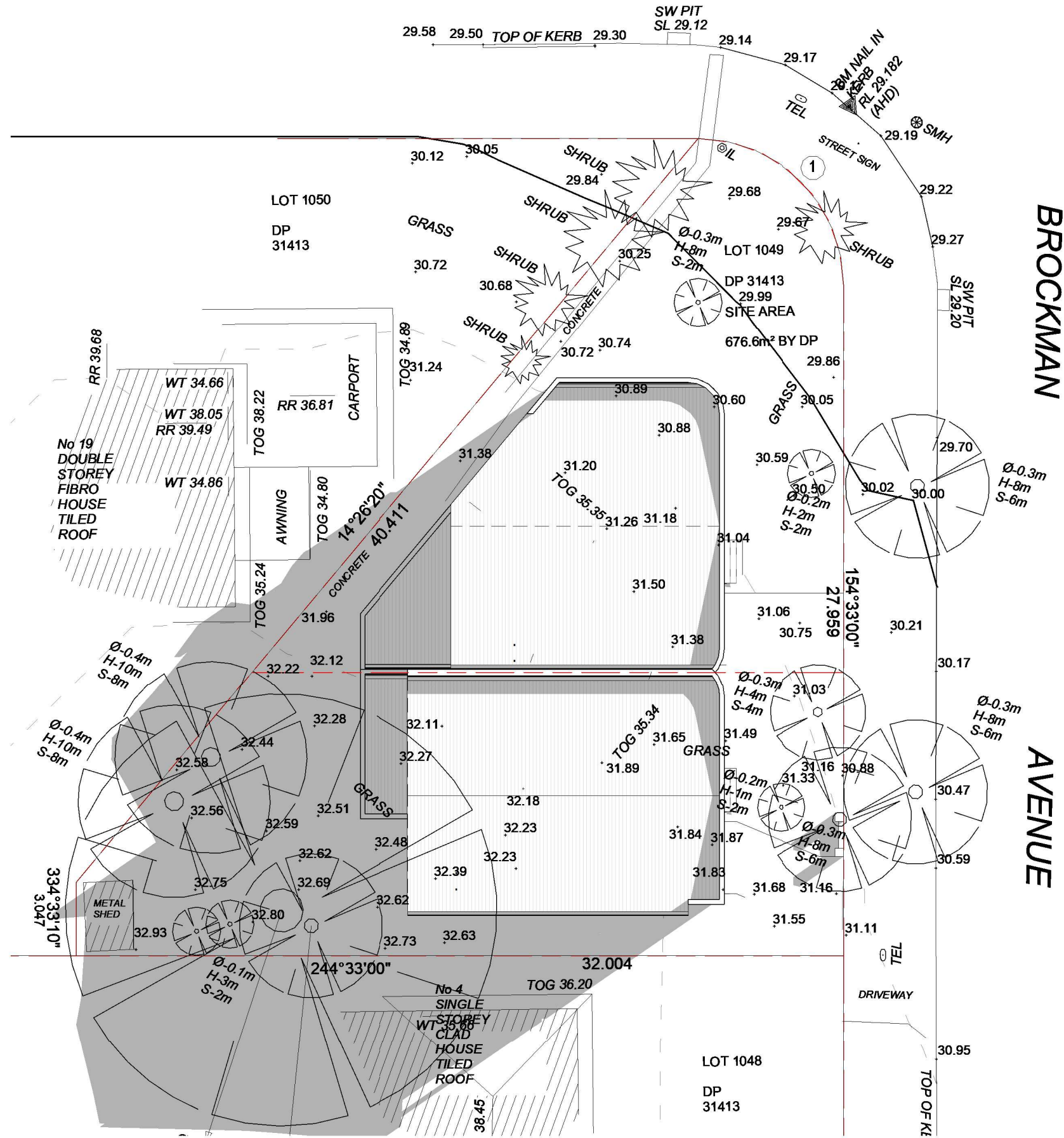
LGA
CANTERBURY - BANKSTOWN

PROJECT
DOUBLE STOREY DUPLEX

Development Application (DA)
LOT 1049 DP 31413 BROCKMAN AVENUE
CLIENT NAME
TAREK & RIBAL NOIN

DATE:
31/10/2024
DRAWN BY:
LN
CHECKED BY:
TD
SCA: Indicated
TITLE:
FENCE AND RETAINING WALL DETAIL
TRUE NORTH
DRAWING No.
A 6.03
SHEET
1
ISSUE

REV	Description	DATE
1	FOR DA APPROVAL	31.10.2024



1 SHADOW DIAGRAM - 9AM - 21st JUNE
1 : 200

0 2 4 8 16m
1 : 200

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ESTATE

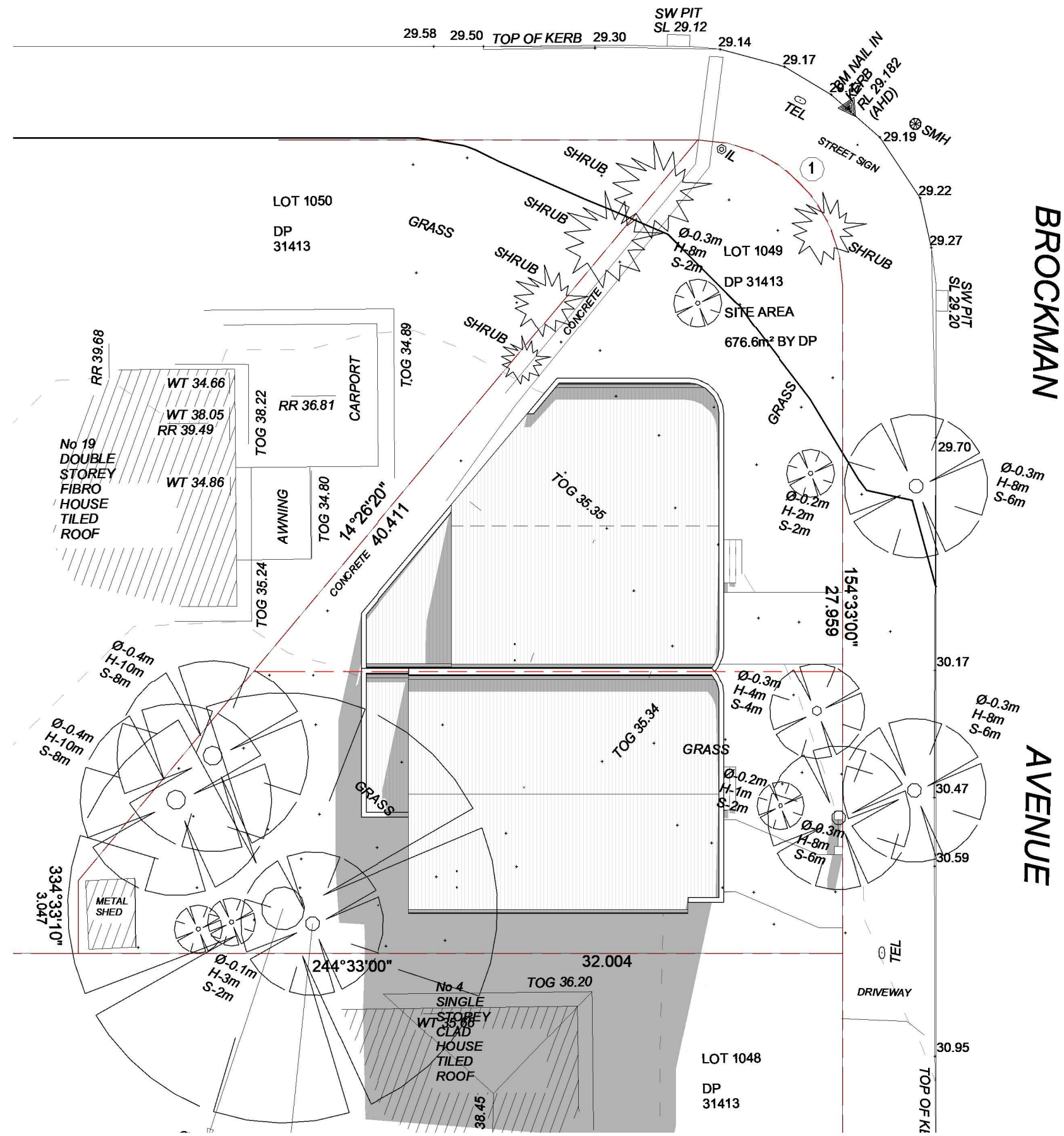
LGA
CANTERBURY - BANKSTOWN

PROJECT
DOUBLE STOREY DUPLEX

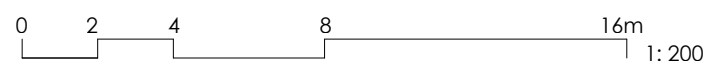
Development Application (DA)
LOT 1049 DP 31413 BROCKMAN AVENUE
CLIENT NAME
TAREK & RIBAL NOIN

DATE:
31/10/2024
DRAWN BY:
LN
CHECKED BY:
TD
SCALE: 1 : 200
TITLE:
SHADOW DIAGRAM - 9AM - 21st JUNE
TRUE NORTH
DRAWING No.
A 7.10
SHEET
1
ISSUE
1

REV	Description	DATE
1	FOR DA APPROVAL	31.10.2024



① SHADOW DIAGRAM - 12PM - 21st JUNE
1 : 200



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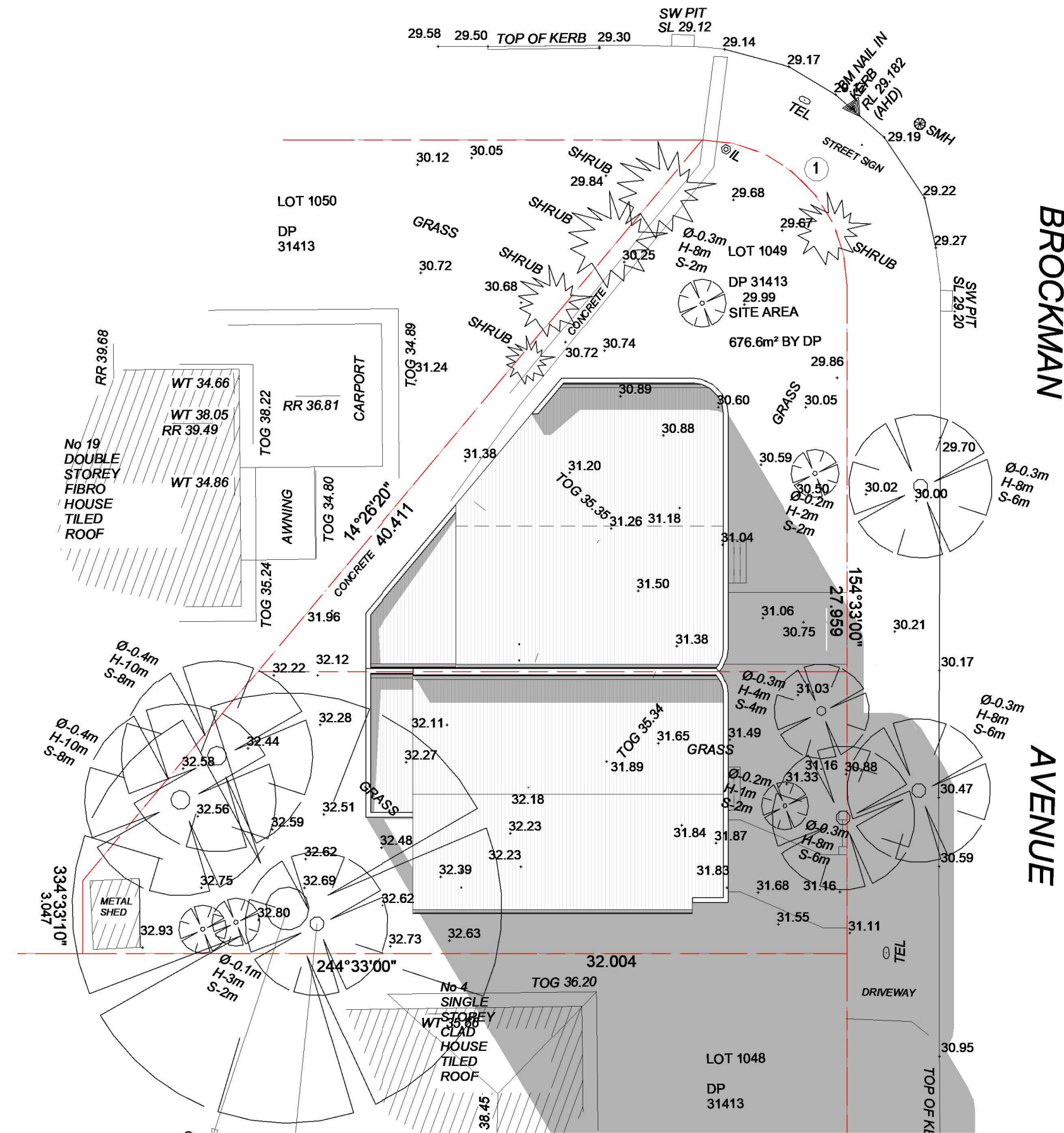
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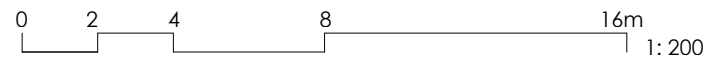
Development Application (DA)
LOT 1049 DP 31413 BROCKMAN AVENUE
CLIENT NAME
TAREK & RIBAL NOIN

DATE:
31/10/2024
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SCALE: 1 : 200
TITLE:
SHADOW DIAGRAM - 12PM - 21st JUNE
TRUE NORTH
DRAWING No.
A 7.11
SHEET
1
ISSUE

REV	Description	DATE
1	FOR DA APPROVAL	31.10.2024



1 SHADOW DIAGRAM - 3PM - 21st JUNE
1 : 200



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Development Application (DA)
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DATE:
31/10/2024
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SCALE: 1 : 200
TITLE:
SHADOW DIAGRAM - 3PM - 21st JUNE
TRUE NORTH
DRAWING No.
A 7.12
SHEET
1
ISSUE

1	FOR DA APPROVAL	31.10.2024
REV	Description	DATE